



ADMINISTRATIVE RENOVATION PRESTON MIDDLE SCHOOL

4901 CORBETT DRIVE
FORT COLLINS, COLORADO 80528

OWNER:

POUDRE SCHOOL DISTRICT
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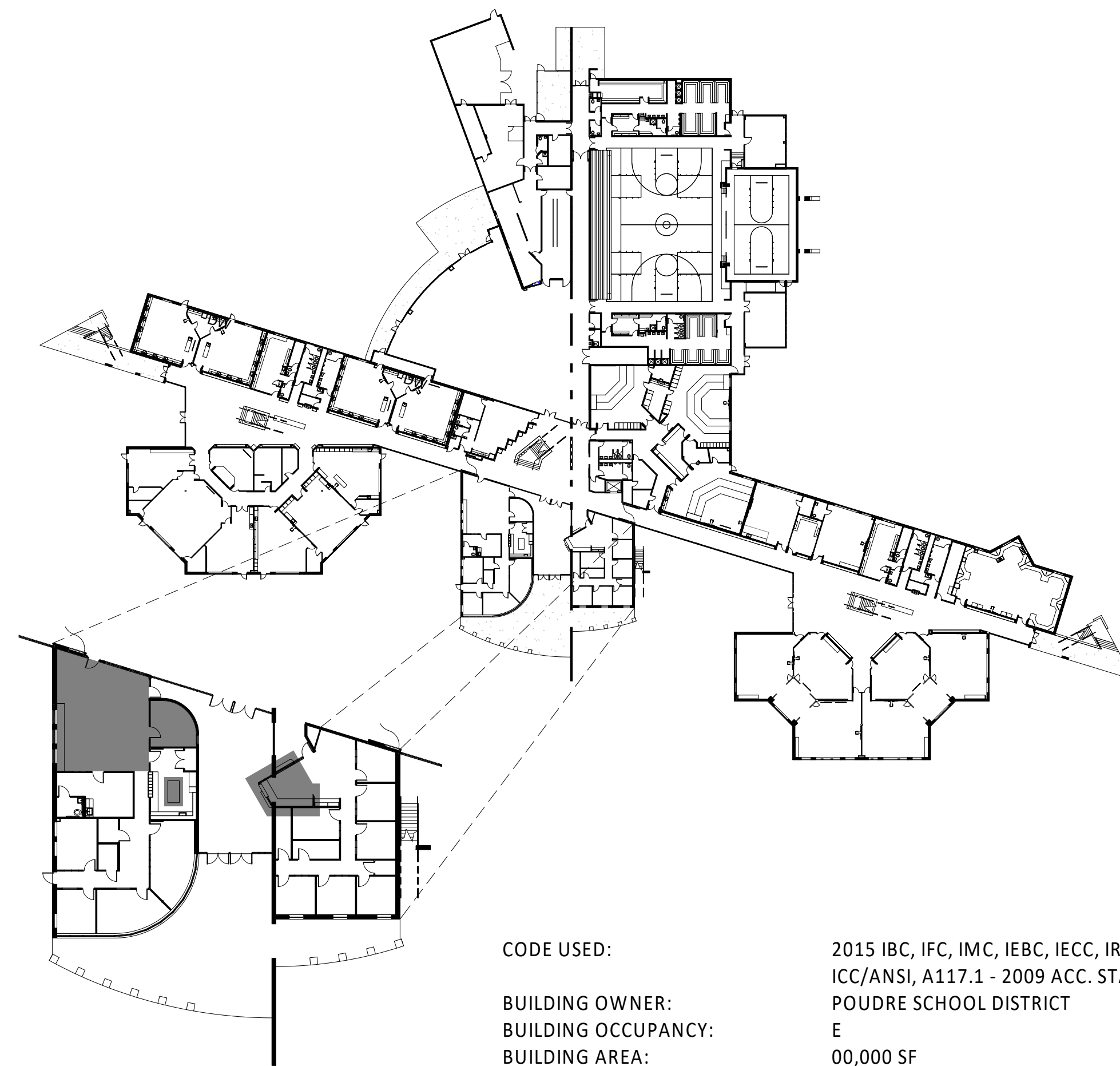
Tom Kalert|AIA
Architect

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ABBREVIATIONS:

ACOUS.	ACOUSTICAL	MATL.	MATERIAL
A.F.F.	ABOVE FINISH FLOOR	MECH.	MECHANICAL
ARCH.	ARCHITECTURAL	MEP.	MECHANICAL, ELECTRICAL, PLUMBING
		MFR.	MANUFACTURER
BD.	BOARD	MIN.	MINIMUM
BLDG.	BUILDING	MISC.	MISCELLANEOUS
BLKG.	BLOCKING	MTD.	MOUNTED
BOT.	BOTTOM		
BSMT.	BASEMENT	(N)	NEW
		N.	NORTH
C.J.	CONTROL JOINT	N.E.	NORTHEAST
CLG.	CEILING	N.I.C.	NOT IN CONTRACT
CLO.	CLOSET	N.T.S.	NOT TO SCALE
CLR.	CLEAR		
COL.	COLUMN	O.C.	ON CENTER
CONC.	CONCRETE	O.D.	OUTSIDE DIAMETER
CONST.	CONSTRUCTION	OPNG.	OPENING
CONT.	CONTINUOUS	OPP.	OPPOSITE
CPT.	CARPET	OPP.HD.	OPPOSITE HAND
		P.L.	PROPERTY LINE
DBL.	DOUBLE	P.LAM.	PLASTIC LAMINATE
DEPT.	DEPARTMENT	P.T.D.	PAPER TOWEL DISPENSER
DIA.	DIAMETER		
DIM.	DIMENSION	R.C.P.	REFLECTED CEILING PLAN
DIV'D.	DIVIDED	R.D.	ROOF DRAIN
DN.	DOWN	REQ'D.	REQUIRED
DR.	DOOR	R.H.	RIGHT HAND
DWG.	DRAWING	R.O.W.	RIGHT OF WAY
(E)	EXISTING	S	SOUTH
EA.	EACH	S.E.	SOUTH EAST
E.	EAST	SECT.	SECTION
E.J.	EXPANSION JOINT	S.E.D.	SEE ELECTRICAL DRAWINGS
ELEC.	ELECTRICAL	S.F.	SQUARE FOOT
EP.	ELECTRICAL PANEL	SHT.	SHEET
EQ.	EQUAL	S.L.D.	SEE LANDSCAPE DRAWINGS
EQUIP.	EQUIPMENT	S.M.D.	SEE MECHANICAL DRAWINGS
		S.P.D.	SEE PLUMBING DRAWINGS
F.A.	FIRE ALARM	SPECS.	SPECIFICATIONS
F.C.P.	FIRE CONTROL PANEL	S.S.D.	SEE STRUCTURAL DRAWINGS
F.D.	FLOOR DRAIN	STOR.	STORAGE
FDN.	FOUNDATION	STRUCT.	STRUCTURAL
F.F.	FINISH FLOOR		
F.F.E.	FINISH FLOOR ELEVATION	TEMP.	TEMPERED
F.E.C.	FIRE EXTINGUISHER CAB.	T & G	TONGUE AND GROOVE
FIN.	FINISH	T.O.P.	TOP OF PLATE
FIXT.	FIXTURE	T.O.W.	TOP OF WALL
FL.	FLOOR	T.P.	TOILET PARTITION
F.O.F.	FACE OF FINISH	T.O.	TOP OF
F.O.S.	FACE OF STUD	TYP.	TYPICAL
FR.	FRAME		
FTG.	FOOTING	U.B.C.	UNIFORM BUILDING CODE
		U.L.	UNDERWRITER'S LABORATORY
GA.	GAUGE	U.O.N.	UNLESS OTHERWISE NOTED
GALV.	GALVANIZED		
GYP.	GYPNUM	V.C.T.	VINYL COMPOSITION TILE
		VERT.	VERTICAL
HDR.	HEADER	VEST.	VESTIBULE
HDWE.	HARDWARE	V.I.F.	VERIFY IN FIELD
HORIZ.	HORIZONTAL		
		W.	WEST
I.D.	INSIDE DIAMETER	W/	WITH
INSUL.	INSULATION	W.C.	WATER CLOSET
INT.	INTERIOR	WD.	WOOD
		WDW.	WINDOW
JAN.	JANITOR	W/O	WITHOUT
JT.	JOINT	WT.	WEIGHT
		YD.	YARD
LAV.	LAVATORY		
LOUV.	LOUVER		
LT.	LIGHT		



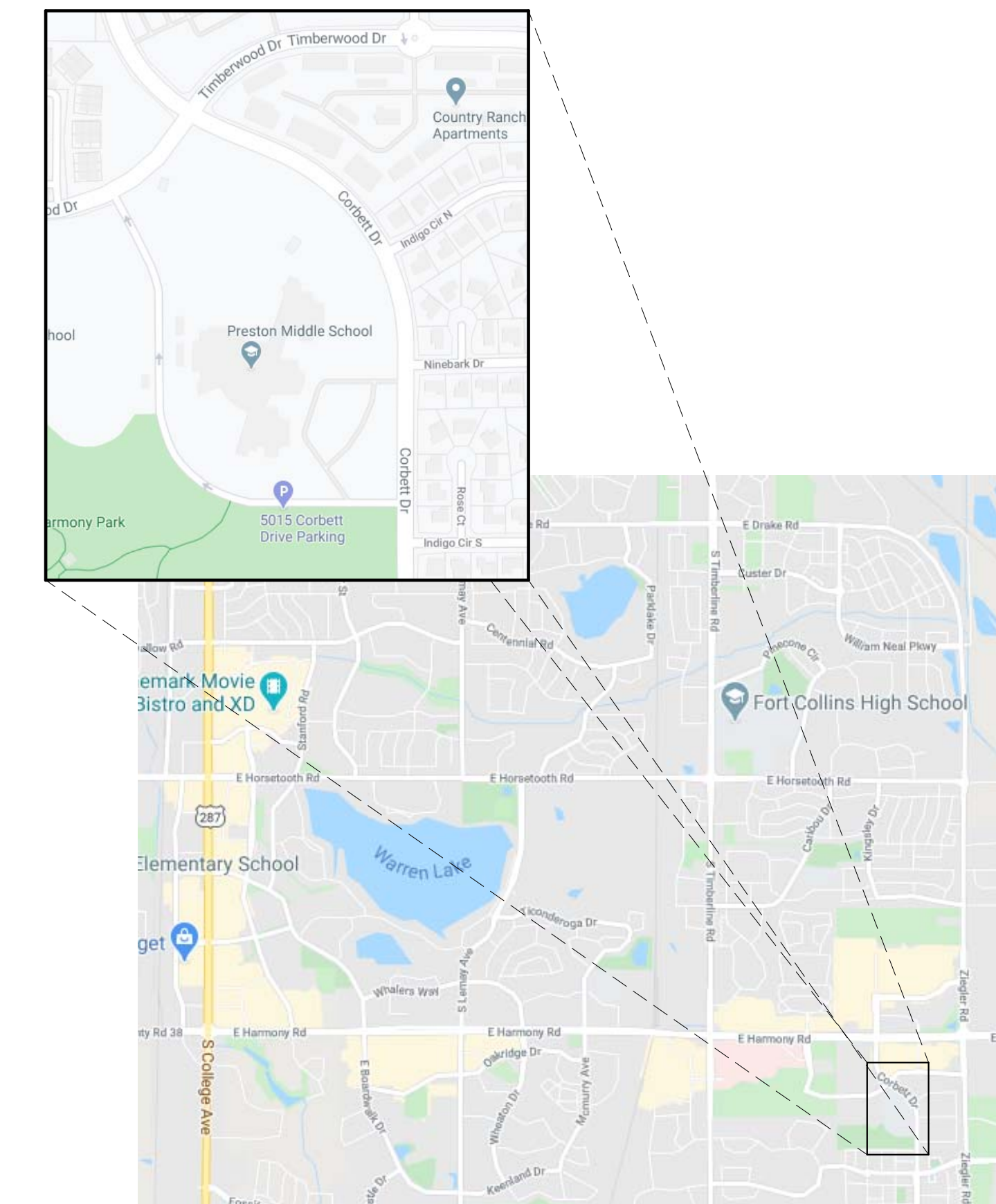
CODE USED: 2015 IBC, IFC, IMC, IEBC, IECC, IRC
ICC/ANSI, A117.1 - 2009 ACC. STANDARDS
POUDRE SCHOOL DISTRICT

BUILDING OWNER: E
BUILDING OCCUPANCY: 00,000 SF
BUILDING AREA: 2-STORY
NUMBER OF STORIES: EXISTING TO REMAIN
FIRE RATED ASSEMBLIES: EXISTING FIRE ALARM -SPRINKLERED
FIRE PROTECTION: 1,000 SF +/-

AREA OF WORK: 1,000 SF +/-

KEY PLAN AND CODE INFORMATION:

NOT TO SCALE



VICINITY MAP:

NOT TO SCALE



SHEET CONTENTS
TITLE SHEET, VICINITY MAP AND
CODE INFORMATION

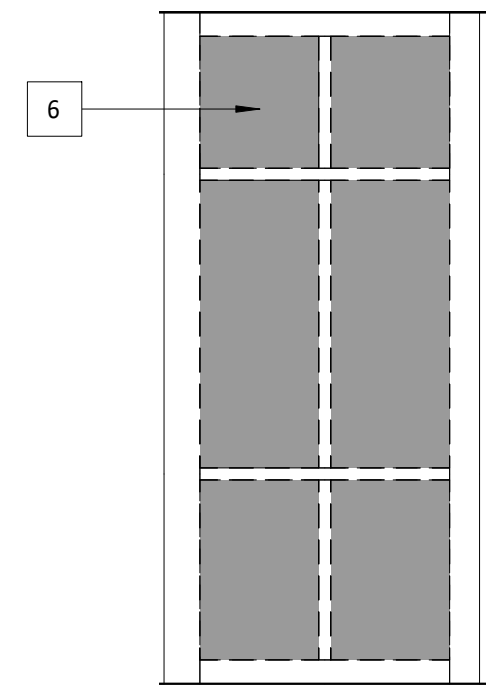
PRESTON MIDDLE SCHOOL
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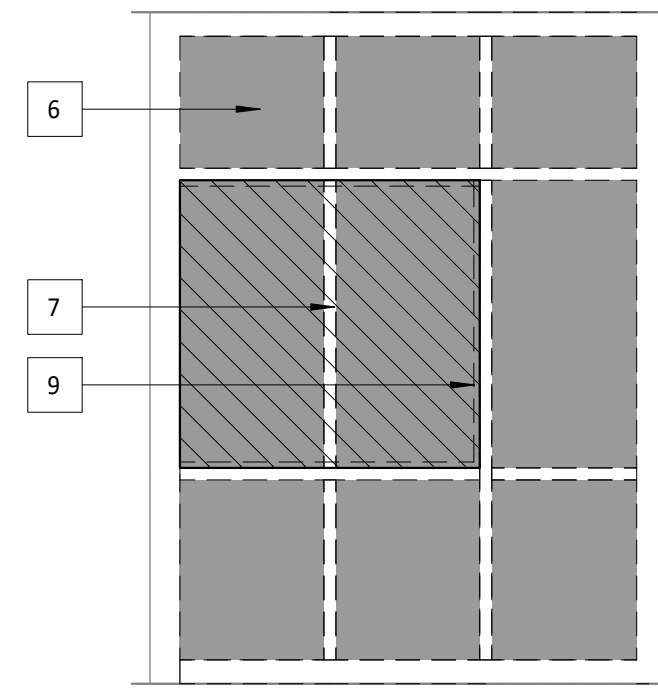
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2	KCG			
3	KCG	06.04.20		

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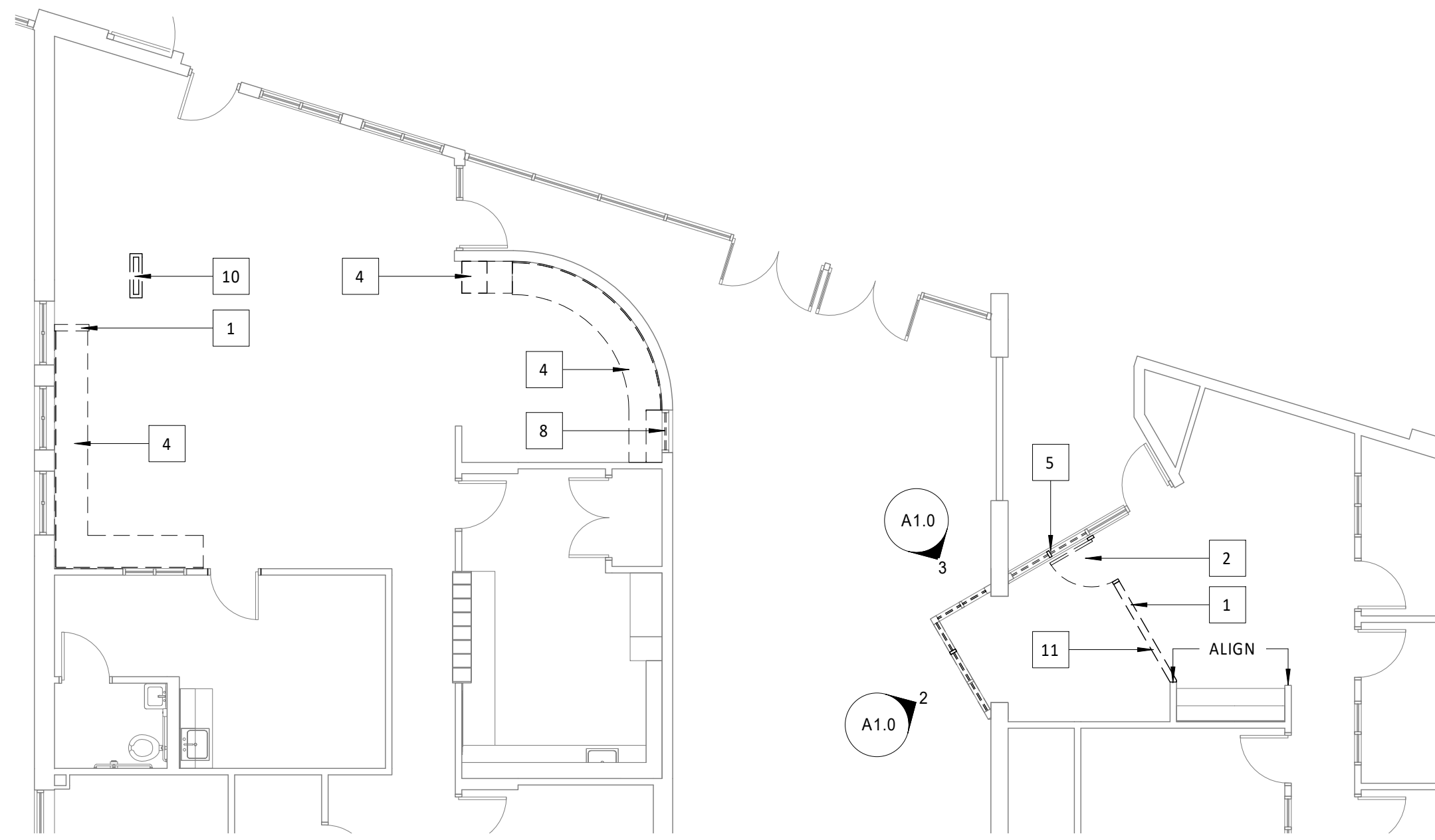
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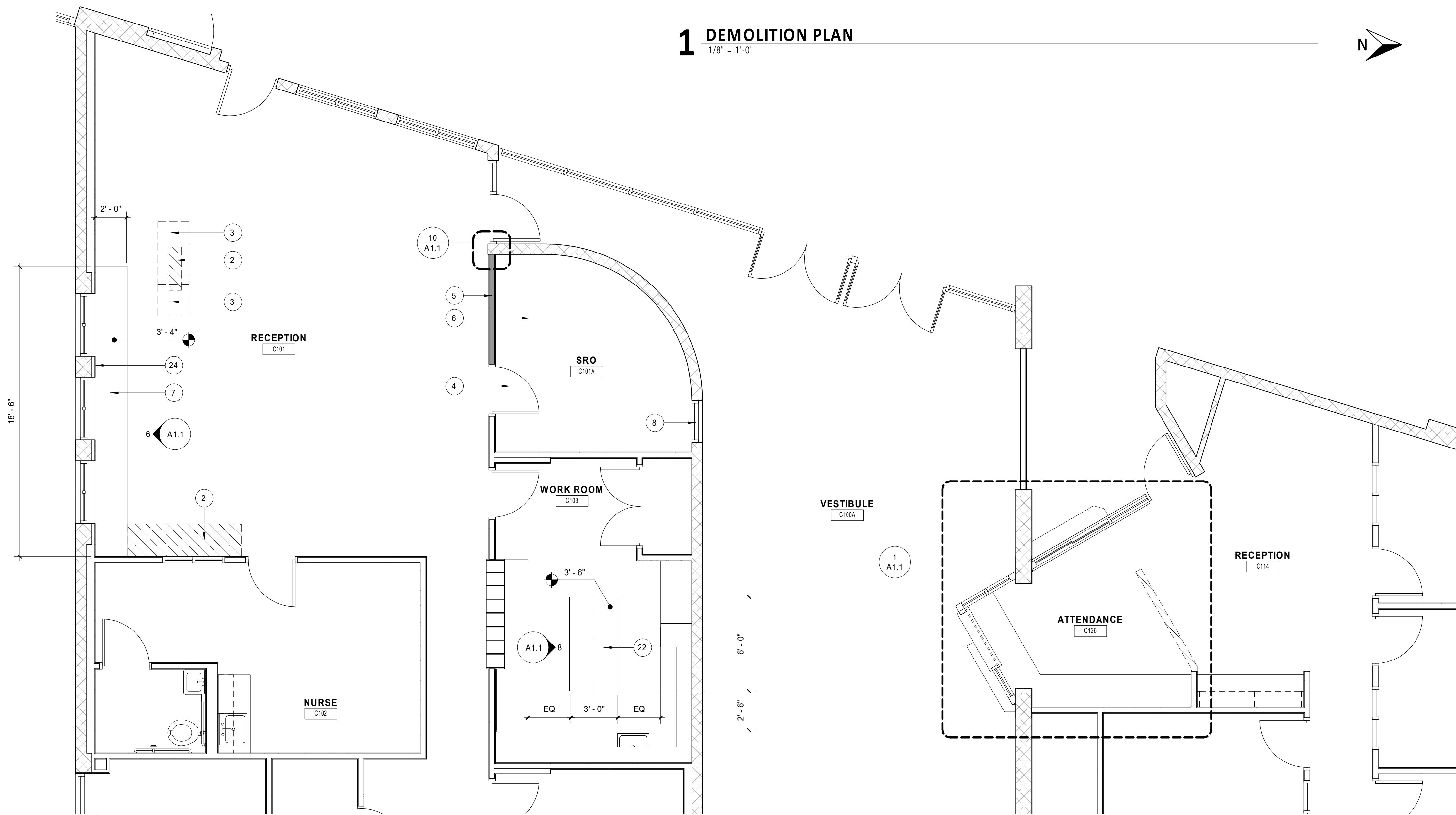
3 DEMO WEST ELEVATION
3/8" = 1'-0"



2 DEMO NORTH ELEVATION
3/8" = 1'-0"



1 DEMOLITION PLAN
1/8" = 1'-0"



4 NEW FLOOR PLAN
1/4" = 1'-0"

GENERAL NOTES:

- A. CONTRACTOR TO FIELD VERIFY ALL EXISTING SITE CONDITIONS AND SHALL INFORM ARCHITECT AND OWNER OF ANY MAJOR DISCREPANCIES
- B. MECHANICAL MODIFICATION SHALL BE DESIGN-BUILD IN FIELD WITH OWNER COORDINATION

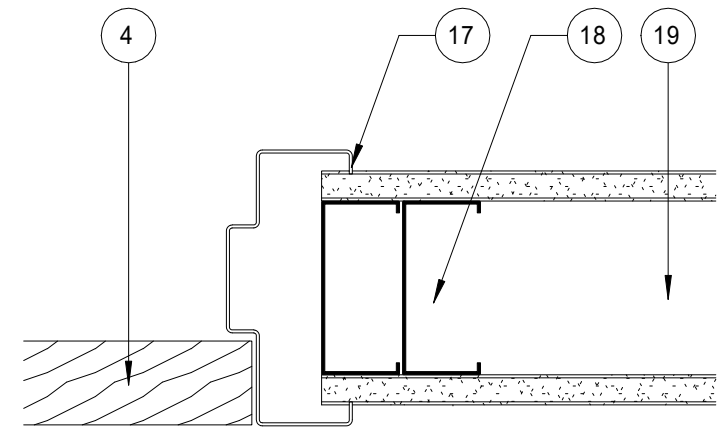
DEMOLITION NOTES:

1. REMOVE EXISTING WALL
2. REMOVE EXISTING DOOR, SALVAGE FOR REINSTALLATION - SEE NEW PLAN
3. REMOVE PORTION OF EXISTING WALL FOR INSTALLATION OF SALVAGED DOOR - SEE NEW PLAN
4. REMOVE EXISTING CASEWORK - SALVAGE AND RETURN TO OWNER
5. REMOVE EXISTING HOLLOW METAL CENTER MULLION AND GLAZING, PREP FRAME FOR NEW SLIDING GLASS UNIT - SEE NEW PLAN
6. REMOVE ALL EXISTING WIRE GLAZING, PREP FRAME FOR INSTALLATION OF NEW GLAZING OR MAPES PANELS
7. REMOVE EXISTING HOLLOW METAL CENTER MULLION THIS AREA, PREP FRAME FOR NEW OPENING - SEE NEW PLAN
8. REMOVE EXISTING SLIDING GLASS KIT, PREP FRAME FOR INSTALLATION OF NEW FIXED GLAZING
9. REMOVE HOLLOW METAL GLAZING STOPS AT NEW OPENING - SEE NEW PLAN
10. REMOVE EXISTING ELECTRICAL AND COM/DATA CHASE, SALVAGE EXISTING DATA LINES ABOVE CEILING
11. REMOVE EXISTING DATA PORT 1-F11, 1-D36, 1-F04, 1-F15 SALVAGE FOR REINSTALLATION IN ADJACENT WALL - SEE NEW PLAN

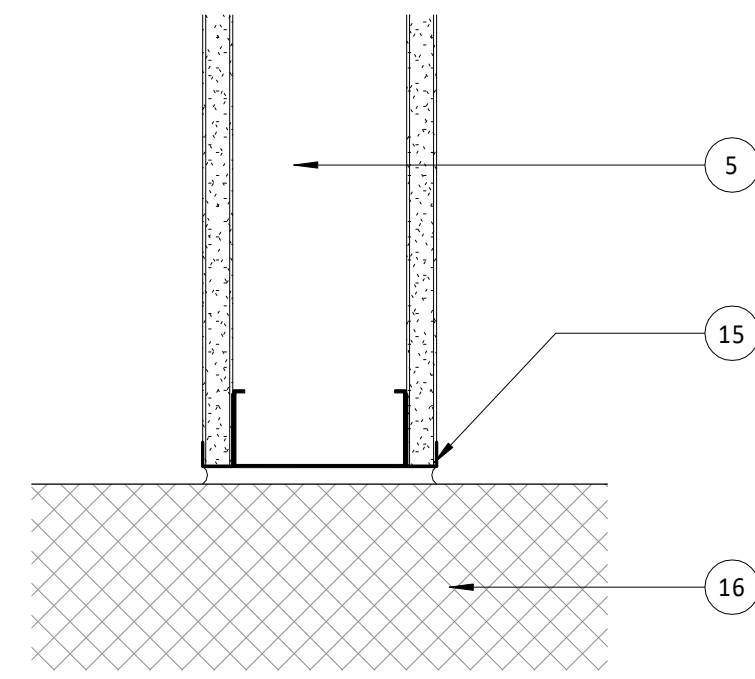
KEY NOTES:

1. INFILL PORTION OF GYP. BD. WALL FROM REMOVAL OF EXISTING DOOR, PROVIDE RUBBER BASE BOTH SIDES TO MATCH EXISTING, PATCH, REPAIR AND FINISH TO MATCH EXISTING
2. INSTALL OWNER PROVIDED CARPET PATCH FROM REMOVAL OF EXISTING WALL OR CASEWORK
3. INSTALL NEW ACP CEILING TILES ABOVE FROM REMOVAL OF EXISTING GYP. BD. CHASE, VERIFY EXTENT IN FIELD
4. REINSTALL SALVAGED DOOR THIS LOCATION - SEE DOOR JAMB DETAIL
5. NEW 3-5/8" STUD WALL WITH 5/8" GYP. BD AND RUBBER BASE BOTH SIDES, FRAME TO UNDERSIDE OF EXISTING ACP CEILING, FINISH TO MATCH EXISTING
6. PROVIDE NEW SUPPLY THIS ROOM - DESIGN BUILD IN FIELD WITH OWNER
7. NEW 24" DEEP CASEWORK WITH PLAM COUNTERTOP - SEE ELEVATIONS
8. PROVIDE NEW GLAZING UNIT IN EXISTING HOLLOW METAL FRAME
9. PROVIDE NEW SOLID MAPES PANELS AT UPPER AND LOWER HOLLOW METAL OPENINGS
10. ACCESSIBLE PLAM COUNTERTOP AT 2' - 10" MAX, PROVIDE (2) STEEL WALL SUPPORTS AS SHOWN, VERIFY LOCATIONS IN FIELD
11. SERVICE COUNTERTOP AT NEW HOLLOW METAL OPENING, COORDINATE WITH NEW OVERHEAD SHUTTER ABOVE
12. NEW OFFICE COUNTERTOP AT 2' - 6", PROVIDE STEEL WALL SUPPORTS AS REQUIRED
13. NEW STEEL INFILL, WELD AND GRIND SMOOTH, PAINT TO MATCH EXISTING
14. OVERHEAD STEEL SHUTTER
15. PROVIDE J-BEAD TERMINATION PIECE AND SEALANT AT GYP. BD. TO CMU OR ACP LOCATION
16. EXISTING MASONRY WALL, SHOWN FOR REFERENCE
17. PROVIDE SEALANT BEAD, FULL PERIMETER, BOTH SIDES, TYPICAL
18. PROVIDE (2) 20 GA. METAL STUDS AT DOOR JAMB, TYPICAL
19. NEW OR EXISTING STUD WALL, SHOWN FOR REFERENCE - SEE PLAN
20. EXISTING HOLLOW METAL WINDOW FRAME, PATCH AND REPAIR AS NEEDED, PRIME AND PAINT IN ENTIRETY
21. PATCH AND REPAIR HOLLOW METAL FRAME, PROVIDE NEW METAL STOPS AS NEEDED, PAINT FRAME, INSTALL NEW SLIDING GLASS WINDOW KIT IN EXISTING 5' - 4" x 3' - 6" HOLLOW METAL OPENING, VERIFY IN FIELD
22. NEW 18" DEEP CASEWORK WITH PLAM COUNTERTOP - SEE ELEVATIONS
23. INSTALL SALVAGED DATA PORT 1-F11, 1-D36, 1-F04, 1-F15 AT THIS LOCATION, PROVIDE COUNTERTOP GROMMET ABOVE
24. RELOCATE ALL EXISTING ELECTRICAL AND COM/DATA ITEMS ABOVE NEW COUNTERTOP HEIGHT

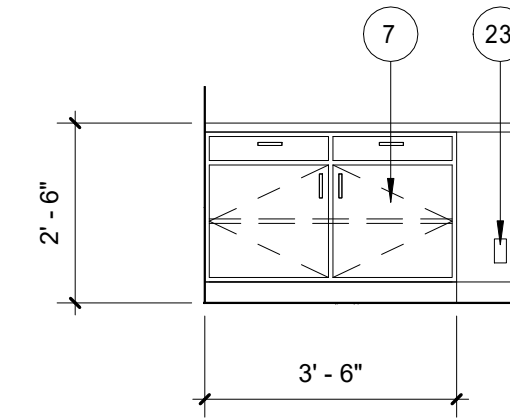
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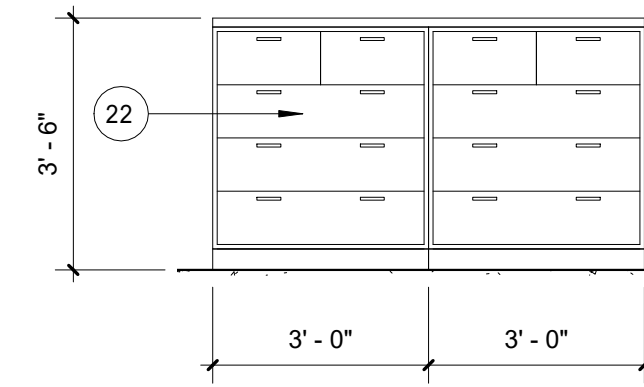
11 DOOR JAMB DETAIL
3" = 1'-0"



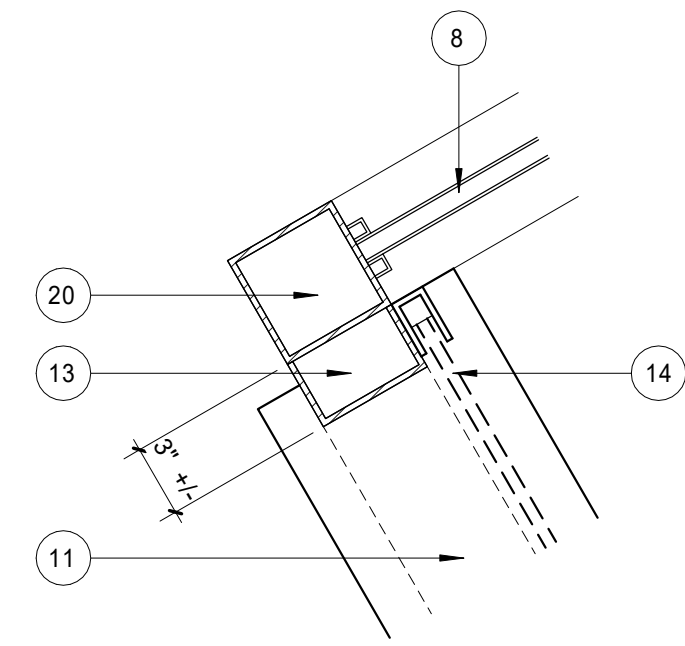
10 STUD TO CMU DETAIL
3" = 1'-0"



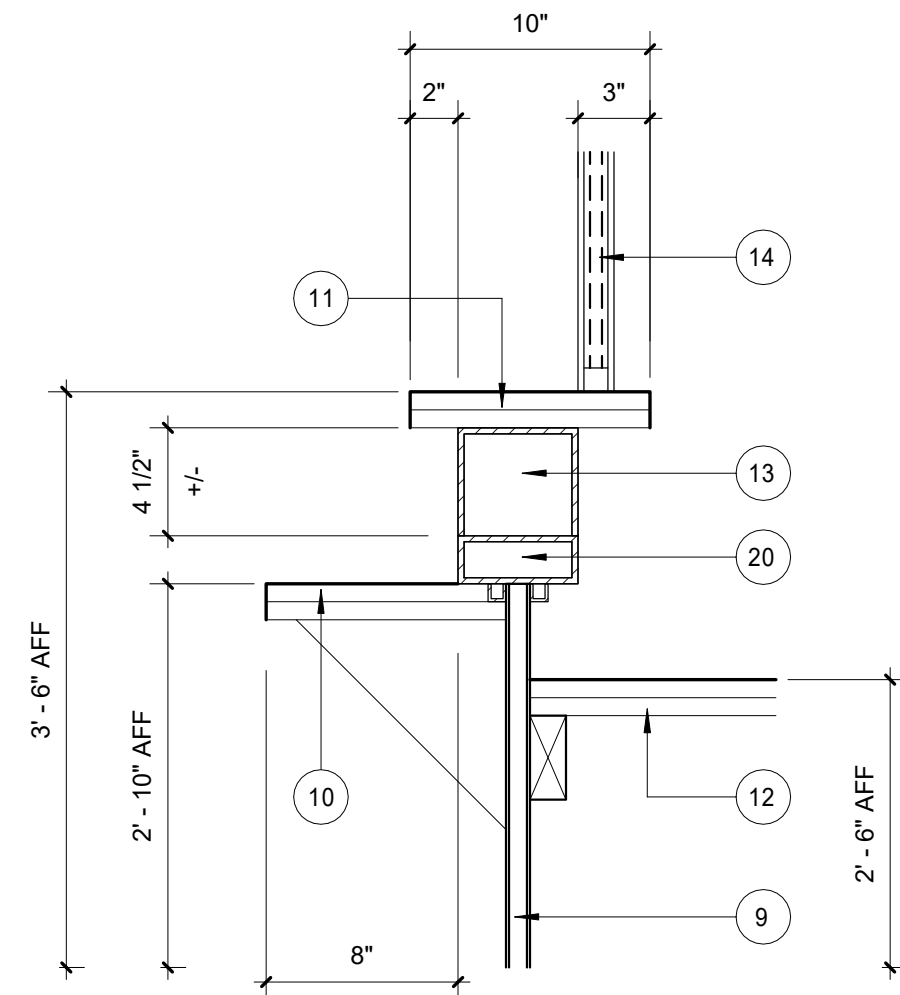
9 ATTENDANCE CASEWORK
3/8" = 1'-0"



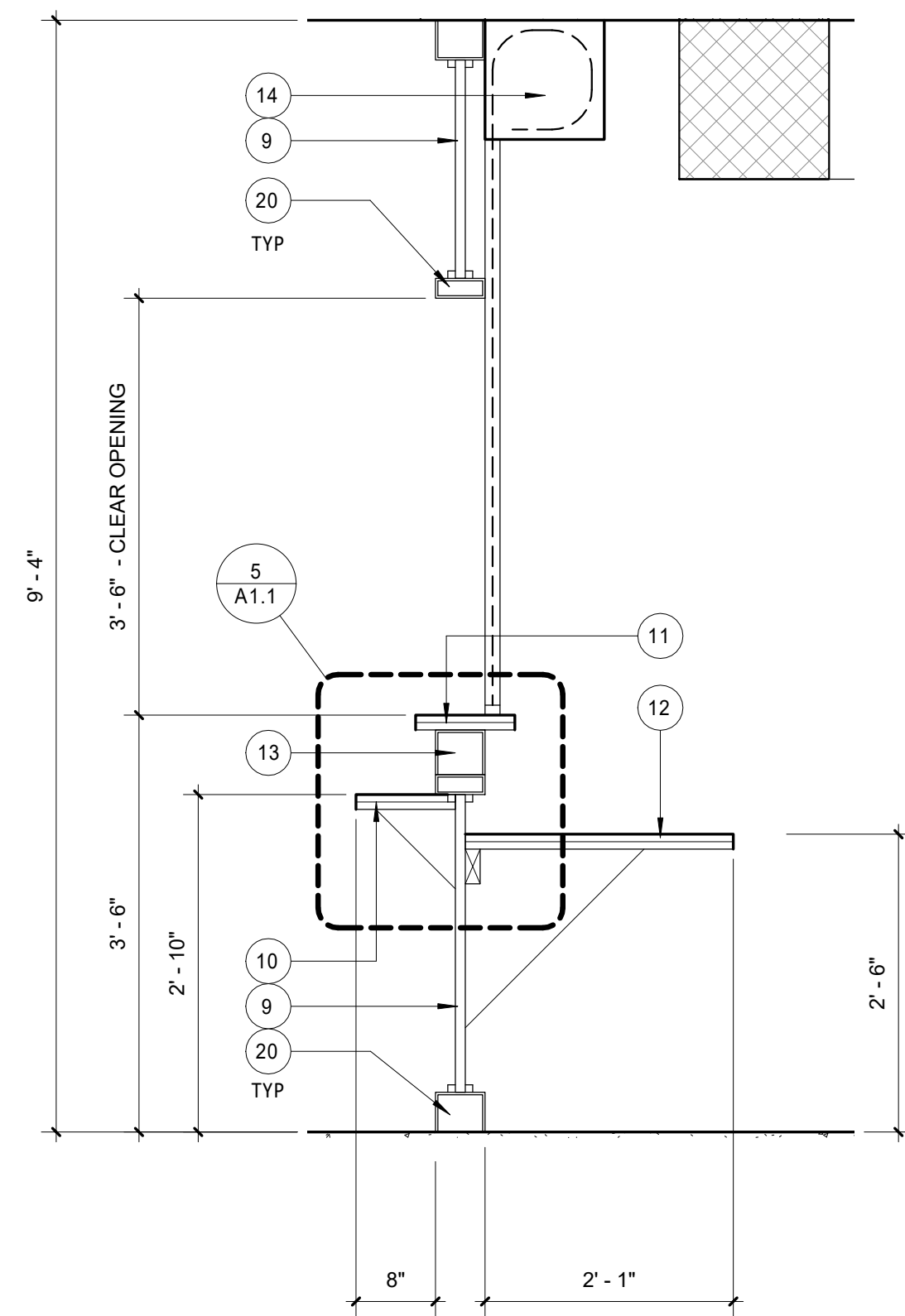
8 WORK ROOM CASEWORK
3/8" = 1'-0" SIM OPP SIDE



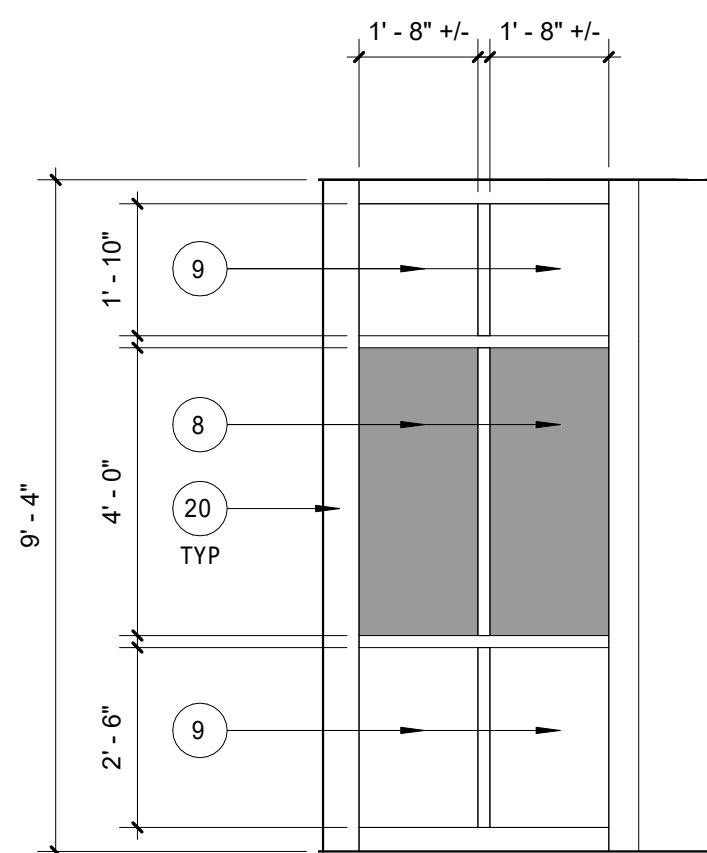
7 ENLARGED FRAME DETAIL
1 1/2" = 1'-0"



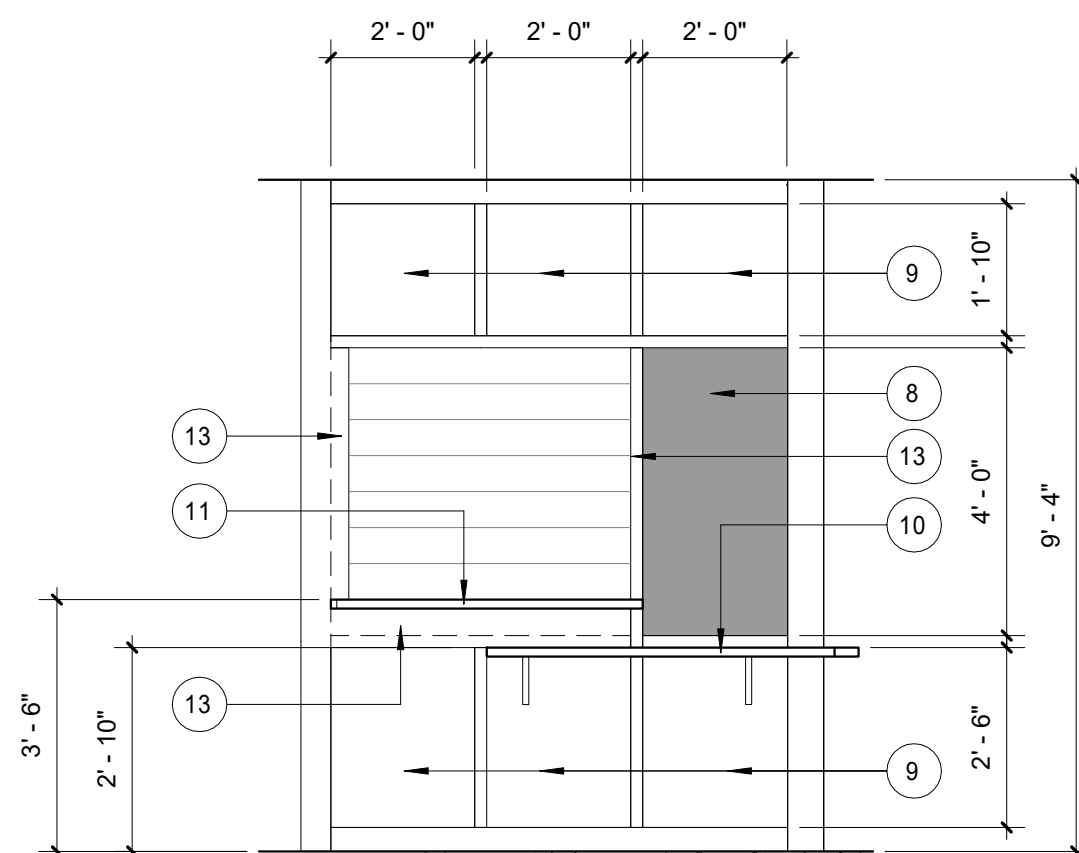
5 ENLARGED FRAME DETAIL
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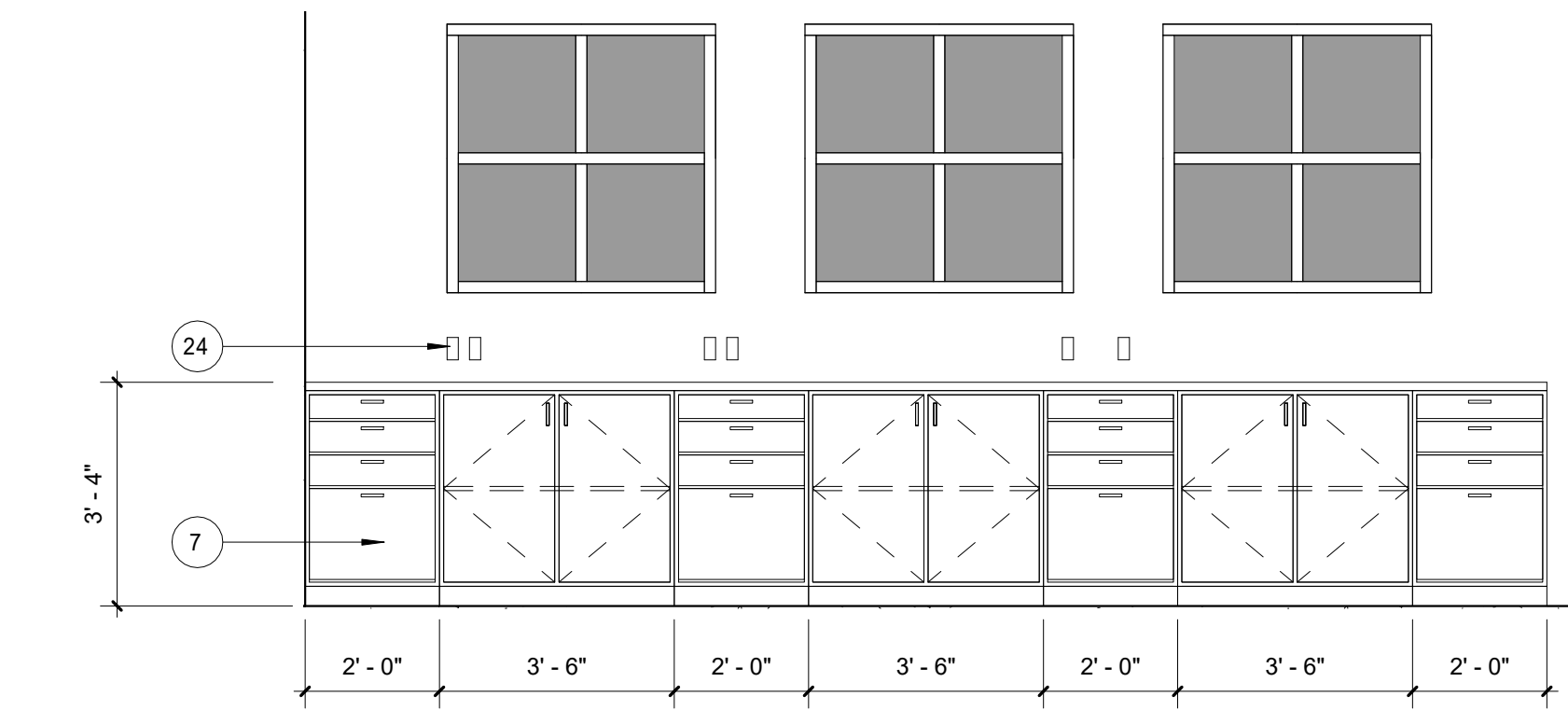
4 FRAME SECTION DETAIL
3/4" = 1'-0"



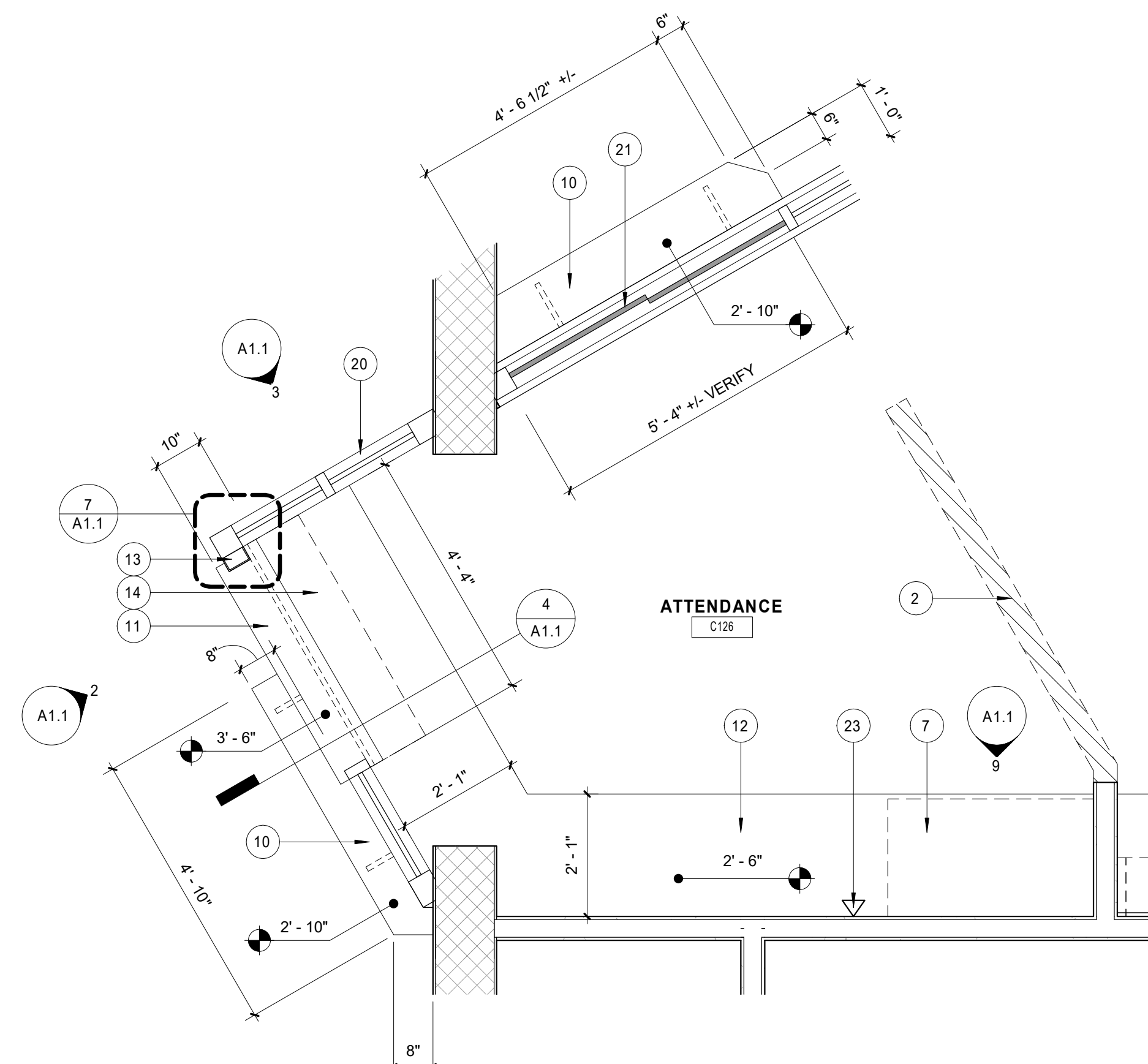
3 NORTH FRAME ELEVATION
3/8" = 1'-0"



2 WEST FRAME ELEVATION
3/8" = 1'-0"



6 OFFICE CASEWORK
3/8" = 1'-0"



1 ENLARGED FLOOR PLAN
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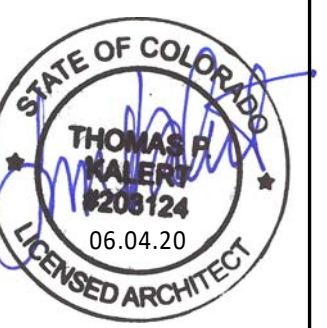
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- NEW OFFICE COUNTERTOP AT 2'-6", PROVIDE STEEL WALL SUPPORTS AS REQUIRED
- NEW STEEL INFILL, WELD AND GRIND SMOOTH, PAINT TO MATCH EXISTING
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SHEET CONTENTS
ENLARGED FLOOR PLAN,
ELEVATIONS AND DETAILS

PRESTON MIDDLE SCHOOL
4901 CORBETT DRIVE
FORT COLLINS, COLORADO 80528



NO.	BY	DESCRIPTION	DATE

NO.	DESCRIPTION	DATE

ISSUE FOR PERMIT

PROJECT: DAM
DRAWN BY: KCG
CHECKED BY: KCG
DATE: 06.04.20

SHEET NO: A1.1