Project: Kruse Elementary School Roofing Replacement

4400 Mcmurry Avenue Fort Collins, Colorado 80525

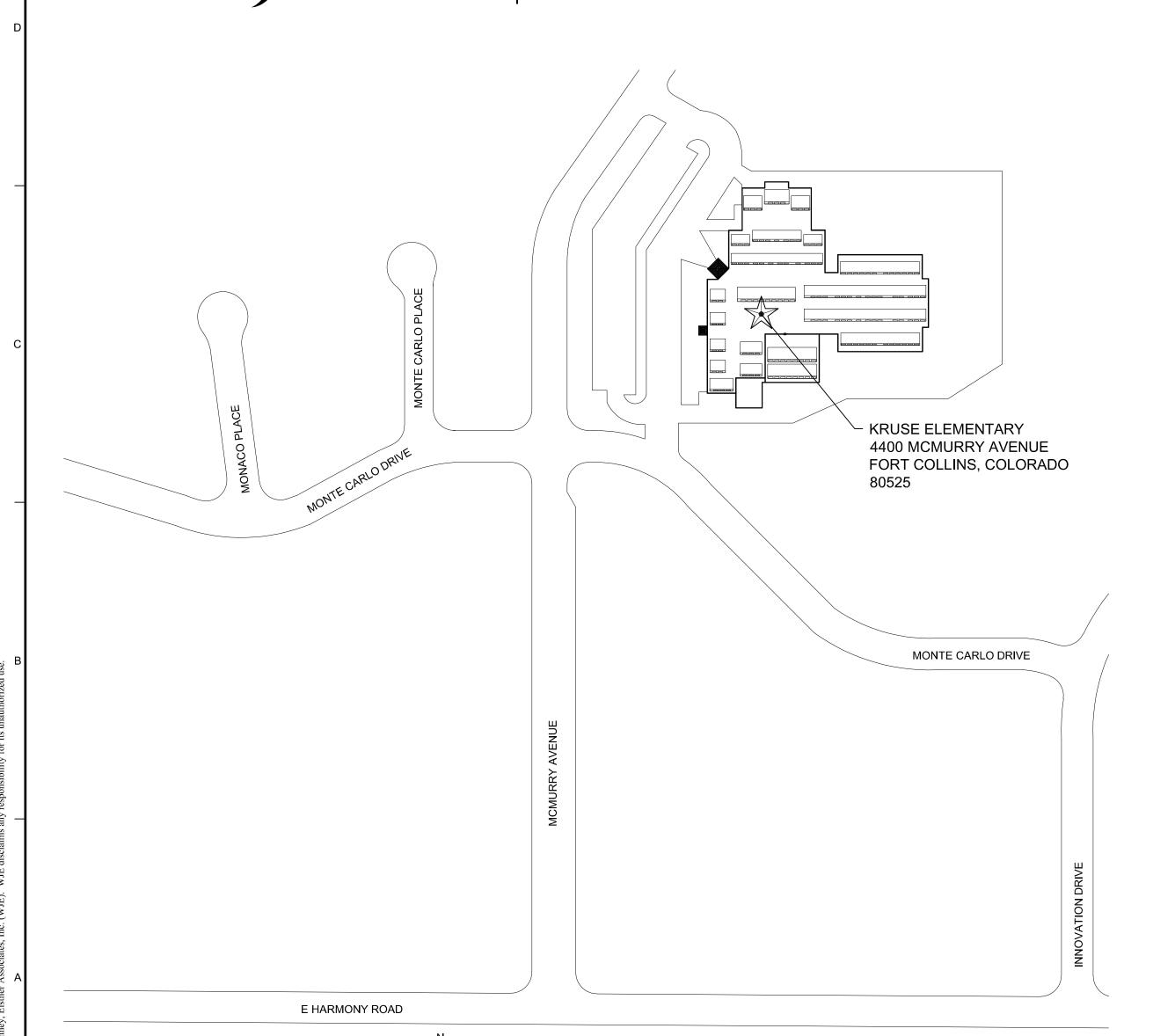
Client: Poudre School District

2413 Laporte Avenue Fort Collins, Colorado 80521

Consultant:

Wiss, Janney, Elstner Associates, Inc. 3609 South Wadsworth Blvd. Suite 400

3609 South Wadsworth Blvd. Suite 400 Lakewood, Colorado 303.914.4300 tel I 303.914.3000 fax



Area Map

INDEX TO DRAWINGS

A001 TITLE SHEET
A002 GENERAL NOTES
A101 ROOF PLAN
A501 ROOFING DETAILS
A502 ROOFING DETAILS

BUILDING CODES:

2018 INTERNATIONAL BUILDING CODE (IBC)
2018 INTERNATIONAL EXISTING BUILDING CODE (IEBC)
2018 INTERNATIONAL FIRE CODE (IFC)
2018 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
2018 INTERNATIONAL PLUMBING CODE (IPC)

ABBREVIATIONS:

(E) EA EPS FV MAX MFR	EXISTING EACH EXTRUDED POLYSTYRENE FIELD VERIFY MAXIMUM MANUFACTURER	RE: REQ'D SIM SF SPF TERM	REFER TO REQUIRED SIMILAR SQUARE FEET SPRAY POLYURETHANE FOAM TERMINATION
		TERM TYP	TYP TYPICAL
O.C. N.I.C.	ON CENTER NOT IN CONTRACT	U.O.N. w/	UNLESS OTHERWISE NOTED WITH

ENGINEERS
ARCHITECTS
MATERIALS SCIENTISTS

Wiss, Janney, Elstner Associates, Inc. 3609 South Wadsworth Boulevard, Suite 400 Lakewood, Colorado 80235 303.914.4300 tel | 303.914.3000 fax

Atlanta | Austin | Boston | Chicago | Cleveland | Dallas | Denver | Detroit
Honolulu | Houston | Los Angeles | Minneapolis | New Haven | New York
Philadelphia | Princeton | San Francisco | Seattle | South Florida | Washington, I

Consultants

Project

DESIGN CRITERIA

BUILDING TYPE: 2A

RISK CATEGORY: III

WIND SPEED: 150 mph Vult

ASCE: 7-16 - As Amended by the City of Fort Collins

TERRAIN CLASSIFICATION: Exposure B

FIRE SPRINKLER SYSTEM: YES

FIRE ALARM SYSTEM: YES

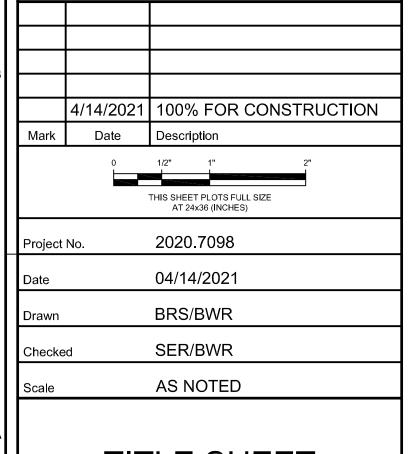
Kruse Elementary

4400 Mcmurry Avenue Fort Collins, Colorado

Client

Poudre School District

2413 Laporte Avenue Fort Collins, Colorado



TITLE SHEET

o.

A001

A. GENERAL

GENERAL NOTES

- CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS, INSPECTIONS, AND RELATED FEES
- ASSOCIATED WITH THE EXECUTION AND COMPLETION OF THE WORK. 2. ALL BUILDING AND SITE ELEMENTS NOT SPECIFICALLY NOTED FOR REMOVAL SHALL BE PROTECTED THROUGHOUT EXECUTION OF THE WORK. ANY DAMAGE SHALL BE REPAIRED BY
- THE CONTRACTOR AT NO COST TO THE OWNER. 3. ALL WASTE AND DEBRIS RESULTING FROM THE WORK SHALL BE PROMPTLY REMOVED AND
- PROPERLY DISPOSED OF OFF-SITE. 4. OWNER IS RESPONSIBLE FOR ALL CONSTRUCTION RELATED ADMINISTRATION SERVICES.

B. DISCOVERY AND FIELD VERIFICATION

- ALL DIMENSIONS PROVIDED ARE APPROXIMATE AND SHALL BE FIELD VERIFIED BY THE CONTRACTOR AND PERTINENT SUB CONTRACTOR(S). ANY CONFLICTS THAT WILL IMPACT THE PROJECT COST OR SCHEDULE SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER PRIOR TO PERFORMING THE EFFECTED WORK.
- DIMENSIONS NOT PROVIDED SHALL BE FIELD MEASURED BY CONTRACTOR.
- DURING CONSTRUCTION, THE CONTRACTOR MAY ENCOUNTER EXISTING CONDITIONS WHICH ARE NOT CURRENTLY KNOWN OR ARE AT VARIANCE WITH PROJECT DOCUMENTATION (DISCOVERY). SUCH CONDITIONS MAY INTERFERE WITH NEW CONSTRUCTION OR REQUIRE PROTECTION AND/OR SUPPORT OF EXISTING WORK DURING CONSTRUCTION, OR MAY CONSIST OF DAMAGE OR DETERIORATION TO MATERIALS OR COMPONENTS WHICH COULD JEOPARDIZE THE INTEGRITY OF THE BUILDING.
- 4. THE CONTRACTOR SHALL NOTIFY THE OWNER OF ALL DISCOVERIES HE/SHE BELIEVES MAY INTERFERE WITH PROPER EXECUTION OF THE WORK OR JEOPARDIZE THE INTEGRITY OF THE BUILDING PRIOR TO PROCEEDING WITH WORK RELATED TO SUCH DISCOVERIES.
- 5. THE DOCUMENTS MAY SPECIFY DIMENSIONS, ELEVATIONS AND CONSTRUCTION CONDITIONS TO BE FIELD VERIFIED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF ALL SPECIFIED CONDITIONS PRIOR TO PROCEEDING WITH THE CONSTRUCTION OR FABRICATION OF ANY COMPONENTS RELATED TO SUCH CONDITIONS. THIS FIELD VERIFICATION SHALL BE MADE IN A TIMELY MANNER SO AS TO CAUSE NO DELAYS IN EXECUTION OF THE WORK.
- C. STRUCTURAL STABILITY DURING CONSTRUCTION
- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION MEANS AND METHODS. 2. THE CONTRACTOR, IN THE PROPER SEQUENCE, SHALL PROVIDE APPROPRIATE SHORING AND BRACING AS MAY BE REQUIRED DURING CONSTRUCTION TO ACHIEVE THE FINAL COMPLETED
- D. CONTRACTOR SHALL NOT USE HEAVY EQUIPMENT NOR STACK MATERIALS IN SUCH A WAY THAT MAY OVER-LOAD THE EXISTING STRUCTURE.
- E. DRAWINGS AND SPECIFICATIONS

STRUCTURE.

- THESE NOTES SHALL SUPPLEMENT THE DRAWINGS AND SPECIFICATIONS FOR THE REPAIRS TO BE PERFORMED AND APPLY EXCEPT WHERE OTHERWISE SPECIFICALLY INDICATED. SPECIFIC NOTES AND DETAILS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND DETAILS; AND, WHERE CONFLICTING REQUIREMENTS EXIST, THE MORE STRINGENT REQUIREMENT SHALL GOVERN.
- 2. THESE DRAWINGS AND SPECIFICATIONS APPLY TO THE KRUSE ELEMENTARY SCHOOL LOCATED AT 4400 MCMURRY AVENUE IN FORT COLLINS, COLORADO, AND SHALL NOT BE USED FOR ANY OTHER PURPOSE WITHOUT THE EXPRESSED WRITTEN CONSENT OF WJE.
- 3. IF CONTRACTOR HAS FOUND THE SPECIFIED PRODUCTS OR MATERIALS TO BE UNAVAILABLE OR UNACCEPTABLE FOR USE ON THIS PROJECT, CONTRACTOR SHALL IMMEDIATELY NOTIFY OWNER.
- 4. OWNER'S WRITTEN APPROVAL MUST BE SECURED FOR ALL SUBSTITUTIONS.
- 5. GRAPHICAL AND DIMENSIONAL INFORMATION SHOWN REGARDING THE EXISTING BUILDING IS BASED ON THE ORIGINAL CONSTRUCTION DRAWINGS AND LIMITED VISUAL EXAMINATION BY WJE. THIS INFORMATION IS BELIEVED TO BE ACCURATE, BUT IS NOT GUARANTEED. CONTRACTOR SHALL VERIFY DIMENSIONS AND EXISTING CONDITIONS PRIOR TO PROCEEDING WITH THE WORK SHOWN. CONTRACTOR SHALL INFORM OWNER OF ANY DISCREPANCIES FOUND THAT WILL PREVENT IMPLEMENTATION OF WORK AS SHOWN WITHIN THE DRAWINGS AND SPECIFICATION, OR THAT IMPACT THE PROJECT COST OR SCHEDULE.
- 6. TYPICAL DETAILS AND NOTES SHOWN ON THE DRAWINGS SHALL BE APPLICABLE TO ALL PARTS OF THE WORK, EXCEPT WHERE SPECIFICALLY REQUIRED OTHERWISE BY THE CONTRACT DOCUMENTS.
- 7. DETAILS NOT SPECIFICALLY SHOWN SHALL BE SIMILAR TO THOSE SHOWN FOR THE MOST NEARLY SIMILAR CONDITION AS DETERMINED BY OWNER. FOR UNIQUE DETAILS WHERE SIMILAR DETAIL IS NOT SHOWN, CONTACT OWNER FOR CLARIFICATION.
- F. USE OF SITE
- 1. HOURS OF OPERATION: CONTRACTOR SHALL PERFORM ALL WORK BETWEEN 8:00 AM AND 5:00 PM, MONDAY THROUGH FRIDAY EXCEPT AS APPROVED IN ADVANCED BY OWNER OR RESTRICTED BY LOCAL, STATE, OR FEDERAL OFFICIALS.
- DAMAGE: CONTRACTOR IS SOLELY RESPONSIBLE FOR ANY DAMAGE TO THE EXISTING BUILDING OR ADJACENT PROPERTY CAUSED BY OR AS A RESULT OF THE WORK, INCLUDING WATER DAMAGE CAUSED BY NON-WATERTIGHT TEMPORARY ENCLOSURES. ANY SUCH DAMAGE SHALL BE REPORTED TO OWNER PRIOR TO CONTRACTOR REPAIRING THE DAMAGE. DAMAGE RELATED TO WORK WILL BE REPAIRED BY THE CONTRACTOR AT NO COST TO
- 3. BARRICADES, WARNING SIGNS: CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL AND INSTALLING AND MAINTAINING THE PROPER FENCING, BARRICADES, AND SIGNAGE TO SAFELY CONTROL AND DIRECT PEDESTRIAN AND AUTOMOTIVE TRAFFIC AROUND THE CONSTRUCTION AREA. BARRICADES SHALL BE INSTALLED AS NECESSARY TO CONTROL AND DIRECT TRAFFIC.
- 4. FUMES AND ODORS: CONTRACTOR TO PROVIDE ADEQUATE VENTILATION DURING USE OF VOLATILE OR NOXIOUS MATERIALS.
- 5. STORAGE OF MATERIALS AND EQUIPMENT: CONTRACTOR SHALL NOT UNREASONABLY ENCUMBER SITE WITH MATERIALS OR EQUIPMENT.
- a. DO NOT LOAD STRUCTURE WITH WEIGHT THAT WILL ENDANGER THE STRUCTURE.
- b. STORE MATERIALS AND EQUIPMENT IN AREAS INDICATED IN THE CONTRACT
- DOCUMENTS OR IN AREAS APPROVED BY OWNER. c. MOVE ANY STORED MATERIALS AND EQUIPMENT WHICH INTERFERE WITH OPERATIONS OF OWNER.
- d. CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR THE PROTECTION AND SAFEKEEPING OF MATERIALS AND EQUIPMENT STORED ON THE PREMISES. STORE MATERIALS IN ACCORDANCE WITH MANUFACTURER WRITTEN REQUIREMENTS. MANUFACTURER'S STANDARD SHIPPING MATERIALS MAY NOT BE ADEQUATE FOR WEATHER PROTECTION PRIOR TO INSTALLATION OF MATERIALS.
- 7. UTILITIES: CONTRACTOR SHALL TEMPORARILY SUPPORT AND/OR REMOVE AND REPLACE ANY PLUMBING LINES, ELECTRICAL CONDUIT OR MECHANICAL EQUIPMENT THAT MAY INTERFERE WITH THE WORK.
- 8. DOWNSPOUTS, GUTTERS, SUMPS AND SEWERS: CONTRACTOR SHALL NOT PERMIT DEBRIS OR OTHER CONTAMINANTS TO ENTER THE STORM WATER SYSTEM.
- 9. NOISE: CONTRACTOR SHALL LIMIT NOISE LEVELS CONSIDERING THE NATURE OF THE WORK. CONTRACTOR SHALL MINIMIZE DISRUPTIONS TO NORMAL BUILDING OPERATIONS.
- 10. SMOKING, TOBACCO USE OF ANY KIND, AND ILLEGAL DRUG USE, ARE PROHIBITED ON THE PREMISES.
- 11. TOILETS: CONTRACTOR SHALL PROVIDE CHEMICAL TOILET FACILITIES FOR WORKERS TO BE LOCATED IN AN AREA APPROVED BY OWNER.
- 12. DAILY CLEAN UP: CONTRACTOR SHALL CLEAN THE SITE DAILY. DAILY CLEAN UP MAY BE REVIEWED AND MUST BE COMPLETED TO THE SATISFACTION OF THE OWNER.

SUMMARY OF WORK

- 1. RECOAT THE EXISTING SPRAY POLYURETHANE FOAM ROOFING SYSTEM, CONSISTING OF:
- 1.1. AN EXISTING GRANULATED URETHANE COATING, 2" OF SPRAY POLYURETHANE FOAM, ½" WOOD FIBER BOARD, AND APPROXIMATELY 2%" OF EXPANDED POLYSTYRENE INSULATION, OVER A STRUCTURALLY SLOPED STEEL ROOF DECK.
- 2. THE EXISTING SPRAY POLYURETHANE FOAM ROOFING SYSTEM IS TO REMAIN IN-PLACE. SURFACE PREPARATION OF THE EXISTING COATING SHALL BE PERFORMED ACCORDING TO THE COATING MANUFACTURER'S REQUIREMENTS FOR THE APPLICATION OF A NEW THREE-COAT URETHANE COATING CONSISTING OF:
 - 2.1. NEOGARD PERMATHANE ALIPHATIC II
 - 2.1.1. BASE COAT: (RE: SPECIFICATIONS)
 - 2.1.2. TOP COAT: (RE: SPECIFICATIONS)

2.1.3. GRANULE COAT: (RE: SPECIFICATIONS)

COATINGS AS PART OF ACCEPTANCE.

LOCATIONS INDICATED ON DRAWINGS.

METAL COPING CAP.

- 3.1. MANUFACTURER'S WARRANTY: 10 YEARS FROM THE DATE OF SUBSTANTIAL COMPLETION. 3.2. CONTRACTOR'S WARRANTY: 3 YEARS FROM THE DATE OF SUBSTANTIAL COMPLETION.
- 4. PORTIONS OF THE ROOF AREA WILL REQUIRE REPAIR PRIOR TO NEW COATING APPLICATION, IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE PRESENCE OF MOISTURE WITHIN THE EXISTING ROOFING SYSTEM AND PROPERLY REMOVE AND REPAIR DEFECTIVE AREAS PRIOR TO THE APPLICATION OF THE NEW URETHANE COATING ACCORDING TO THE MANUFACTURER'S REQUIREMENTS. REPAIRS ARE TO BE PERFORMED PRIOR TO CLEANING AND PREPARATION TO PREVENT MOISTURE INTRUSION.
- 5. MOCK UP: CONTRACTOR SHALL PREPARE SURFACE AND APPLY COATING SYSTEM TO REPRESENTATIVE LOCATIONS DESIGNATED BY WJE TO DEMONSTRATE AESTHETIC EFFECTS AND QUALITY OF MATERIALS AND EXECUTION. LEAVE PORTION OF PREPARED SURFACE AND EACH
- COATING LAYER EXPOSED TO VIEW. 5.1. COATING MANUFACTURER'S REPRESENTATIVE SHALL OBSERVE MOCK-UP AND APPROVE IN
- WRITING SURFACE PREPARATION AND COATING APPLICATION. 5.2. COATING MANUFACTURER'S REPRESENTATIVE SHALL PERFORM FIELD ADHESION TESTS OF
- 5.3. IF OWNER DETERMINES MOCK-UP DOES NOT COMPLY WITH REQUIREMENTS, MODIFY MOCK-UP OR CONSTRUCT NEW MOCK-UP UNTIL MOCK-UP IS APPROVED. DO NOT PROCEED WITH WORK UNTIL MOCK-UP IS APPROVED.
- 5.4. APPROVED MOCK-UP WILL BE ACCEPTANCE OF STANDARD FOR REMAINDER OF WORK. 5.5. APPROVED MOCK-UP MAY BECOME PART OF COMPLETED WORK IF UNDISTURBED AT TIME OF
- 6. INSTALL NEW 3-COURSING (NEOGARD 86220 TITEX T272) ALONG TRANSITION TO EXISTING SHEET
- 7. REMOVE AND REPLACE TO MATCH (E) PREFINISHED SHEET METAL COUNTER FLASHINGS ALONG EXISTING MONITORS AS INDICATED ON DRAWINGS. REMOVE EXISTING SHEET METAL COUNTER FLASHINGS ALONG EAST AND WEST FACING MONITOR WALLS AND DISCARD; INSTALL NEW 3-COURSING AND 24 GA. PREFINISHED COUNTER FLASHING ENGAGED WITH EXISTING CLOSURE METAL AT
- 8. IF AREAS OF DETERIORATED SUBSTRATE (PLYWOOD SHEATHING) BOARD ARE FOUND, CONTRACTOR TO REPLACE AREAS OF DETERIORATED/DAMAGED (E) PLYWOOD WITH EXTERIOR FIRE RATED PLYWOOD SHEATHING, THICKNESS TO MATCH (E).
- 9. EXISTING STEEP-SLOPE STANDING SEAM METAL ROOF AREAS TO REMAIN AND ARE NOT INCLUDED WITHIN THE SCOPE OF WORK. CONTRACTOR SHALL TAKE PROPER PRECAUTIONS TO PROTECT METAL ROOF AREAS AND ADJACENT BUILDING COMPONENTS FROM DAMAGE AND OVER SPRAY THROUGHOUT DURATION OF THE WORK.
- 10. ALTERNATE NO. 1: REMOVE AND LEGALLY DISPOSE OF OFF-SITE (DISCARD) EXISTING SHEET METAL PARAPET COPINGS AND INSTALL NEW 24 GA. PREFINISHED SHEET METAL COPINGS TO MATCH EXISTING PROFILE AND COLOR (APPROVED BY OWNER), PROVIDE DOUBLE S-LOCK JOINT COVERS AT COPING SEAMS. INSTALL 22 GA. CONTINUOUS CLEAT AT OUTSIDE FACE OF WALL. RE: SPECIFICATIONS AND DETAILS 15 AND 16 ON SHEET A502.
- ALTERNATE NO. 2: REMOVE AND LEGALLY DISPOSE OF OFF-SITE (DISCARD) EXISTING SPF COATING AND RELATED MATERIALS ALONG ROOF AREA DIVIDER CURB. CONTRACTOR SHALL MAKE ACCESSIBLE TO OWNER PRIOR TO PROCEEDING WITH WORK. IF EXISTING EXPANSION JOINT EXISTS, CONTRACTOR SHALL INSTALL NEW JOHNS MANSVILLE EXPAND-O-FLASHING IN ACCORDANCE WITH SPECIFICATIONS AND DETAIL 17/A502.
- 12. CONTRACTOR SHALL COORDINATE WORK WITH A NEOGARD COATING REPRESENTATIVE FOR REVIEW OF EXISTING CONDITIONS AND MOCK-UPS. 12.1. NEOGARD CONTACT: KELLY MALONE

ACCOUNT MANAGER - ROCKY MOUNTAIN REGION **NEOGARD / HEMPEL** PH: (214).353.1600 EMAIL: KELM@HEMPEL.COM

Wiss, Janney, Elstner Associates, Inc. 3609 South Wadsworth Boulevard, Suite 400 Lakewood, Colorado 80235 303.914.4300 tel | 303.914.3000 fax

Headquarters & Laboratories: Northbrook, Illinois Atlanta | Austin | Boston | Chicago | Cleveland | Dallas | Denver | Detroit Honolulu | Houston | Los Angeles | Minneapolis | New Haven | New York Philadelphia | Princeton | San Francisco | Seattle | South Florida | Washington, D.0

Consultants

Kruse Elementary

4400 Mcmurry Avenue Fort Collins, Colorado

Poudre School District

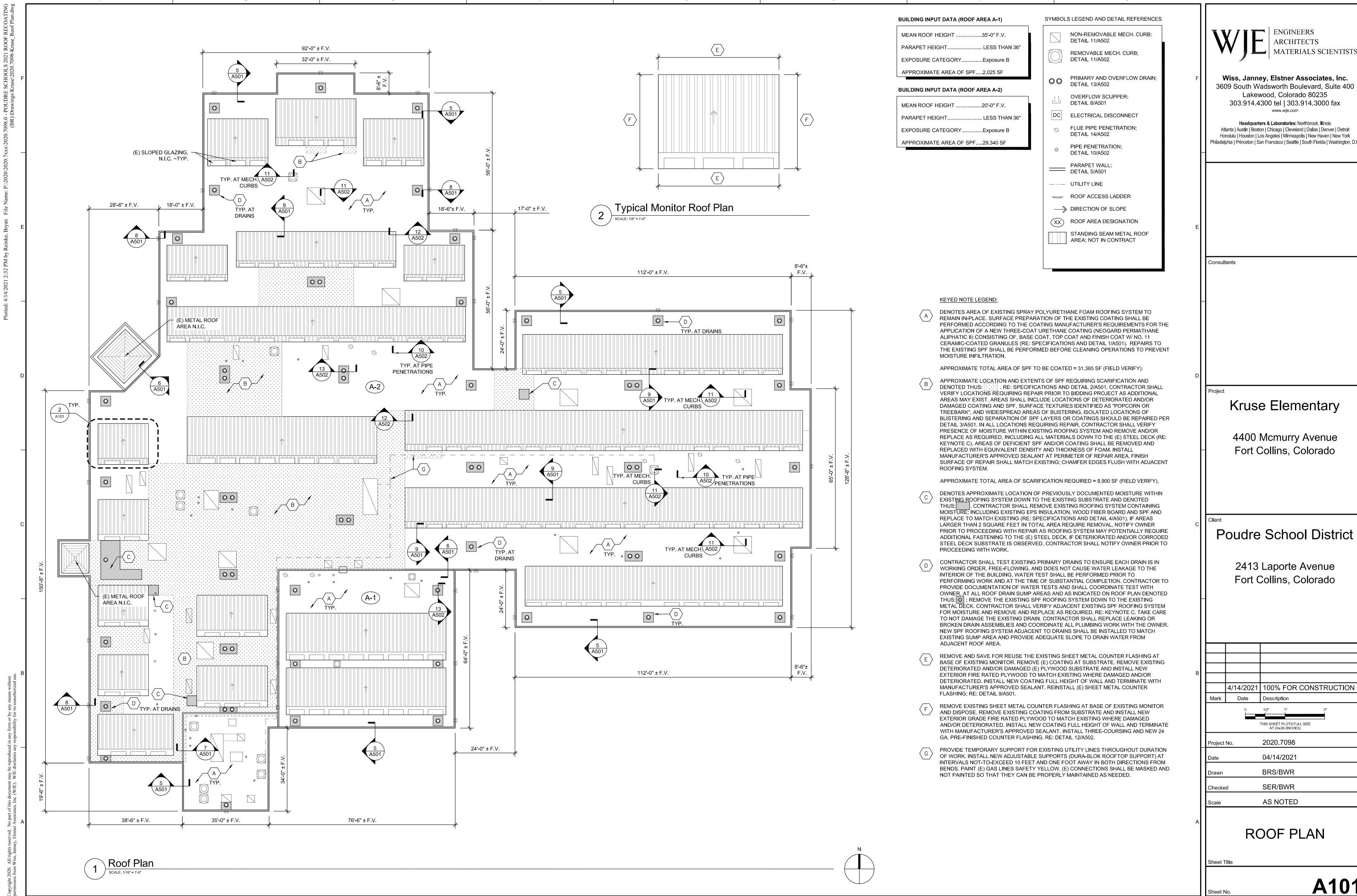
2413 Laporte Avenue Fort Collins, Colorado

	4/14/2021	100% FOR CONSTRUCTION		
Mark	Date	Description		
0 1/2" 1" 2" THIS SHEET PLOTS FULL SIZE AT 24x36 (INCHES)				
Project No.		2020.7098		
Date		04/14/2021		
Drawn		BRS/BWR		
Checked		SER/BWR		
Scale		AS NOTED		

GENERAL NOTES

Sheet Title

Sheet No.



MATERIALS SCIENTISTS

Atlanta | Austin | Boston | Chicago | Cleveland | Dallas | Denver | Detroit Honolulu | Houston | Los Angeles | Minneapolis | New Haven | New York Philadelphia | Princeton | San Francisco | Seattle | South Florida | Washington, D.0

4/14/2021 100% FOR CONSTRUCTION

